

LINCOLN PARK
CITY OF SOMERVILLE

RB

LINCOLN PARKWAY

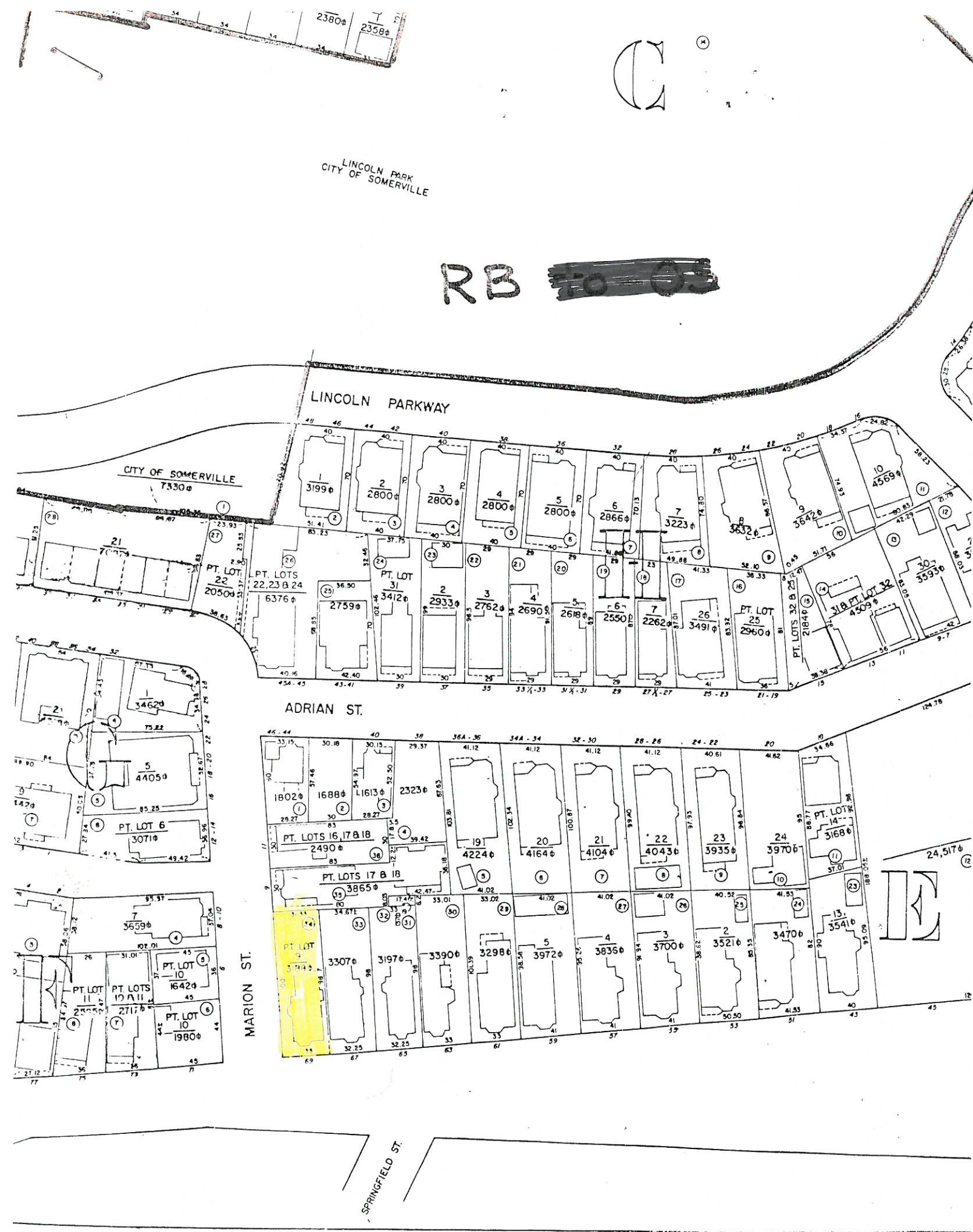
CITY OF SOMERVILLE
7330

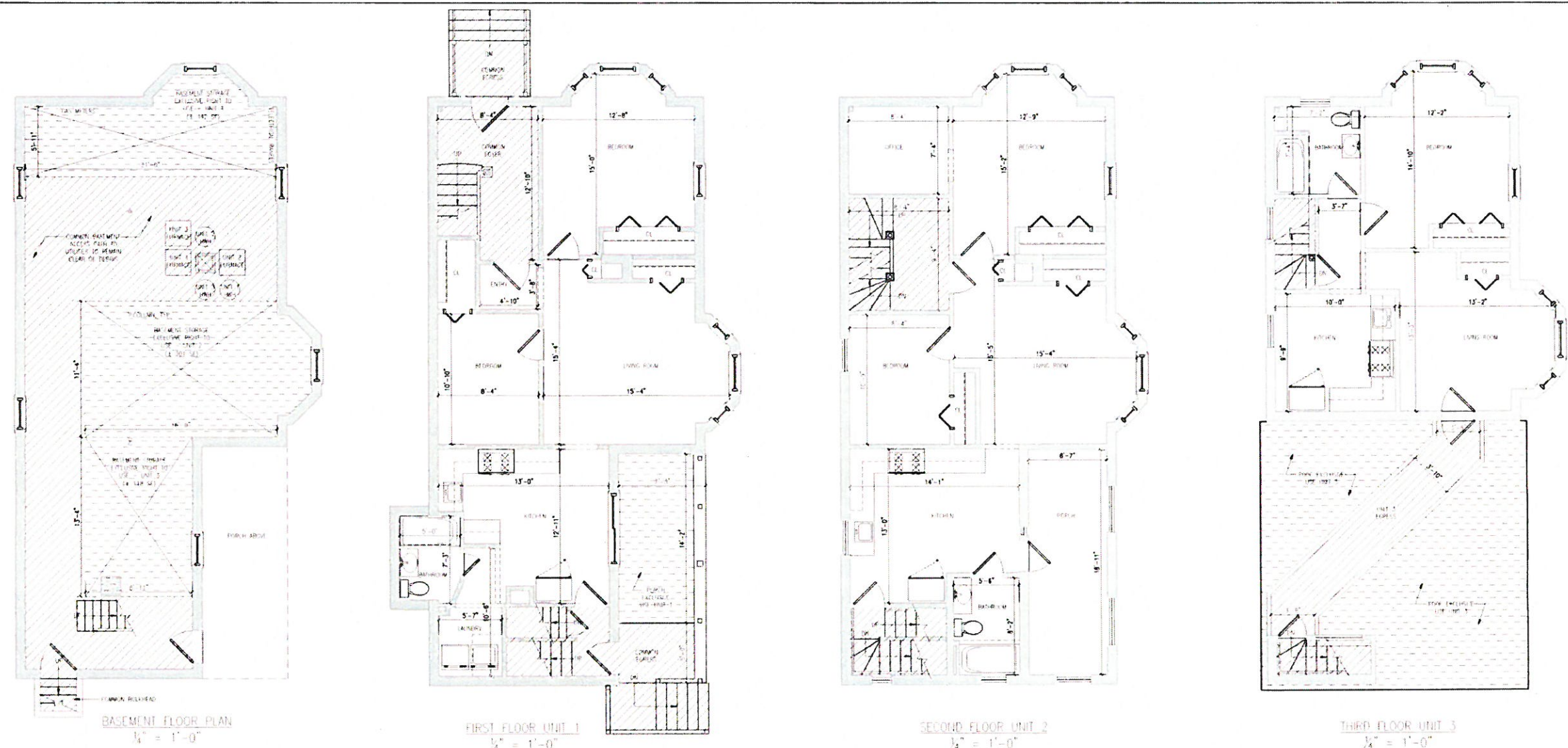
ADRIAN ST.

MARION ST.

SPRINGFIELD ST.

E





FOR REGISTRY USE ONLY

| SQUARE FOOTAGES | |
|---------------------|--------|
| UNIT 1 BASEMENT | 142 SF |
| UNIT 1 FIRST FLOOR | 755 SF |
| UNIT 2 BASEMENT | 201 SF |
| UNIT 2 SECOND FLOOR | 920 SF |
| UNIT 3 BASEMENT | 116 SF |
| UNIT 3 THIRD FLOOR | 520 SF |

| LEGEND | |
|--------|------------------------|
| | COMMON AREA |
| | EXCLUSIVE RIGHT TO USE |

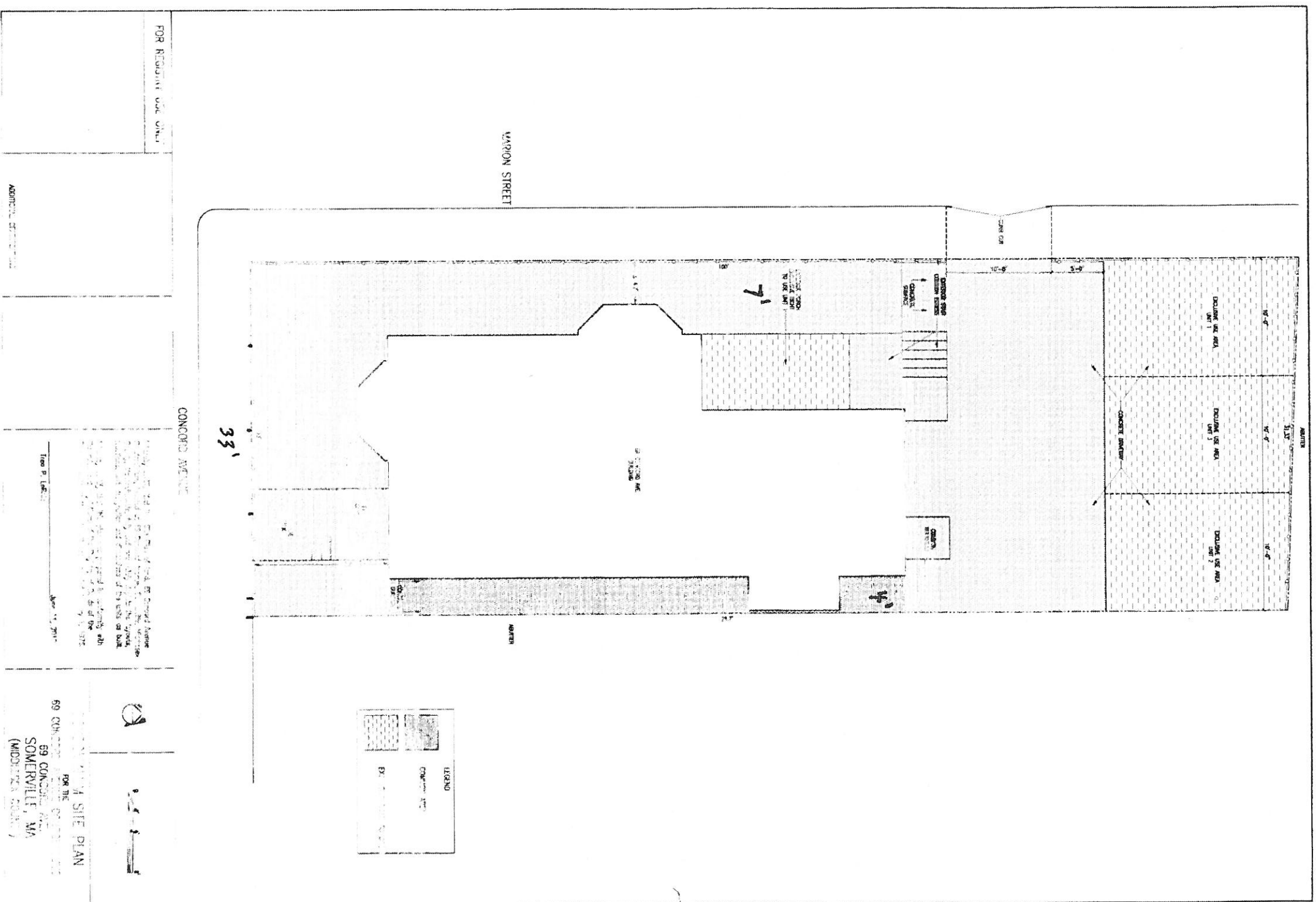
NOTE: DIMENSIONS (OVERALL DIMENSIONS) ARE TO THE INTERIOR FACE OF STUDS.

CONDOMINIUM PLANS
FOR THE
69 CONCORD AVENUE CONDOMINIUM
69 CONCORD AVE
SOMERVILLE, MA
(MIDDLESEX COUNTY)

PREPARED BY:

SCALE AS NOTED

DATE: JUNE 11, 2010



WARRION STREET

Abstract

FOR REPRINTS, SEE OTHER

CONCERN WITH

FOR THE
69 CONCORD
69 CONCORD

SOMERVILLE, MA
(MIDDLESEX COUNTY)

(MIDDLE BOX)

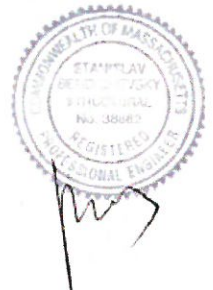
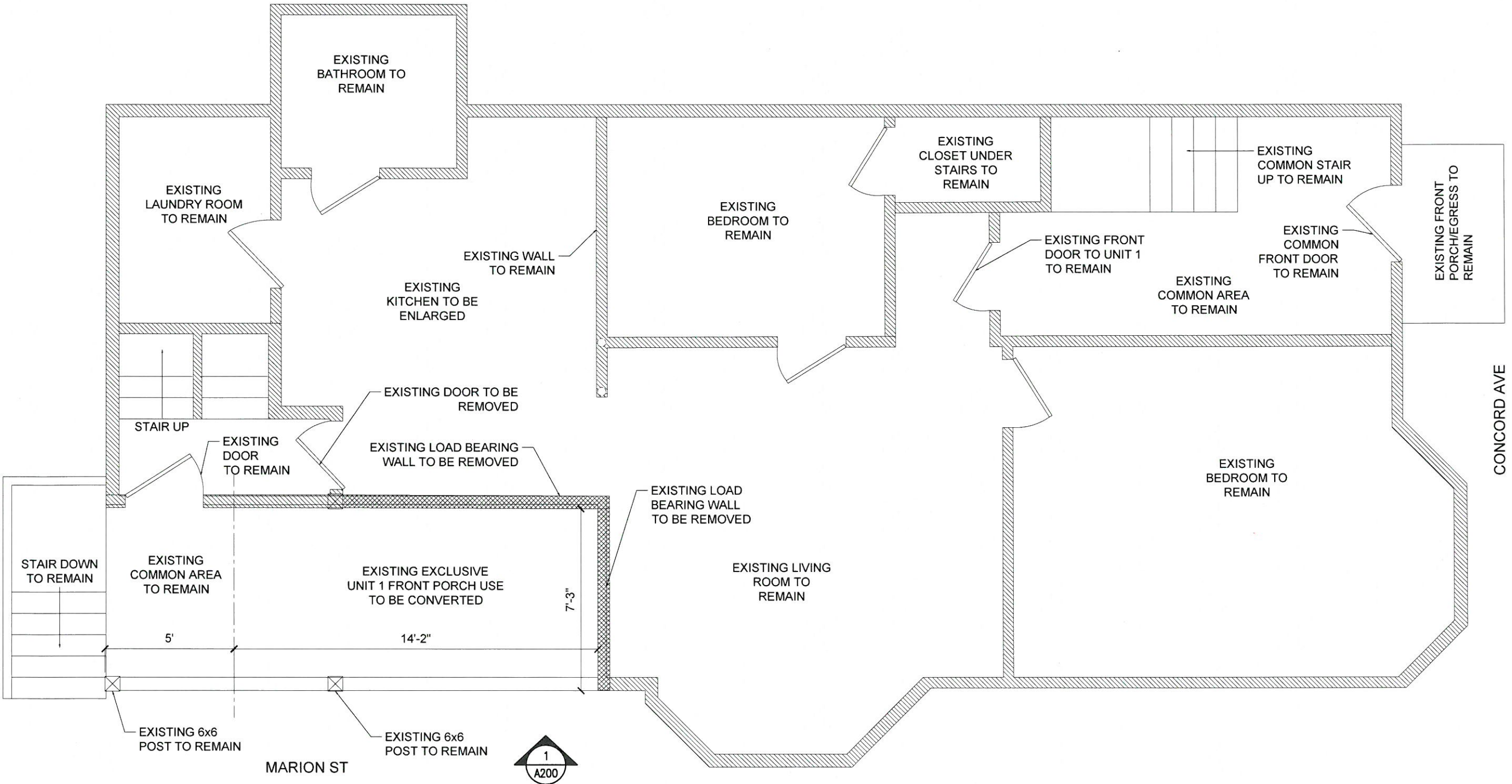
(MIDDLE BOX)

GENERAL NOTES:

1. All work shall conform to Massachusetts Building Code and all Federal, State and Town of Somerville laws, codes and regulations as each may apply.
2. All existing conditions must be verified in field. If discrepancies are found, they have to be reported to the Engineer prior to start of work. Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
3. The contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
4. The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
5. The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
6. All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
7. The Contractor shall field verify all existing conditions, utility locations and structure placement, prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the Contractor's expense.
8. Prior to bidding the work the Contractor shall visit the site and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
9. Contractor is responsible for all demolition and relocation works, if any.

STRUCTURAL NOTES:

1. Contractor shall verify all dimensions.
2. Existing floor joists above load bearing wall to be removed to be braced on each side prior to removal of wall.
3. All loads and loading conditions are per IBC 2009 (8th Edition of Massachusetts Building Code).
4. All dimensional lumber must be of construction grade or better.
5. LVL's shall be $F_b = 3100$ psi, PSL's shall be $F_b = 2650$ psi.
6. PSL posts shall be braced on all sides at each level.
7. LVL's shall be attached per manufacturer's recommendations for SIDE loaded assemblies.
8. Apply (2) 2x joists under partition walls which are parallel to framing. Provide (2) 2x blocking under partition walls which are perpendicular to direction of framing.



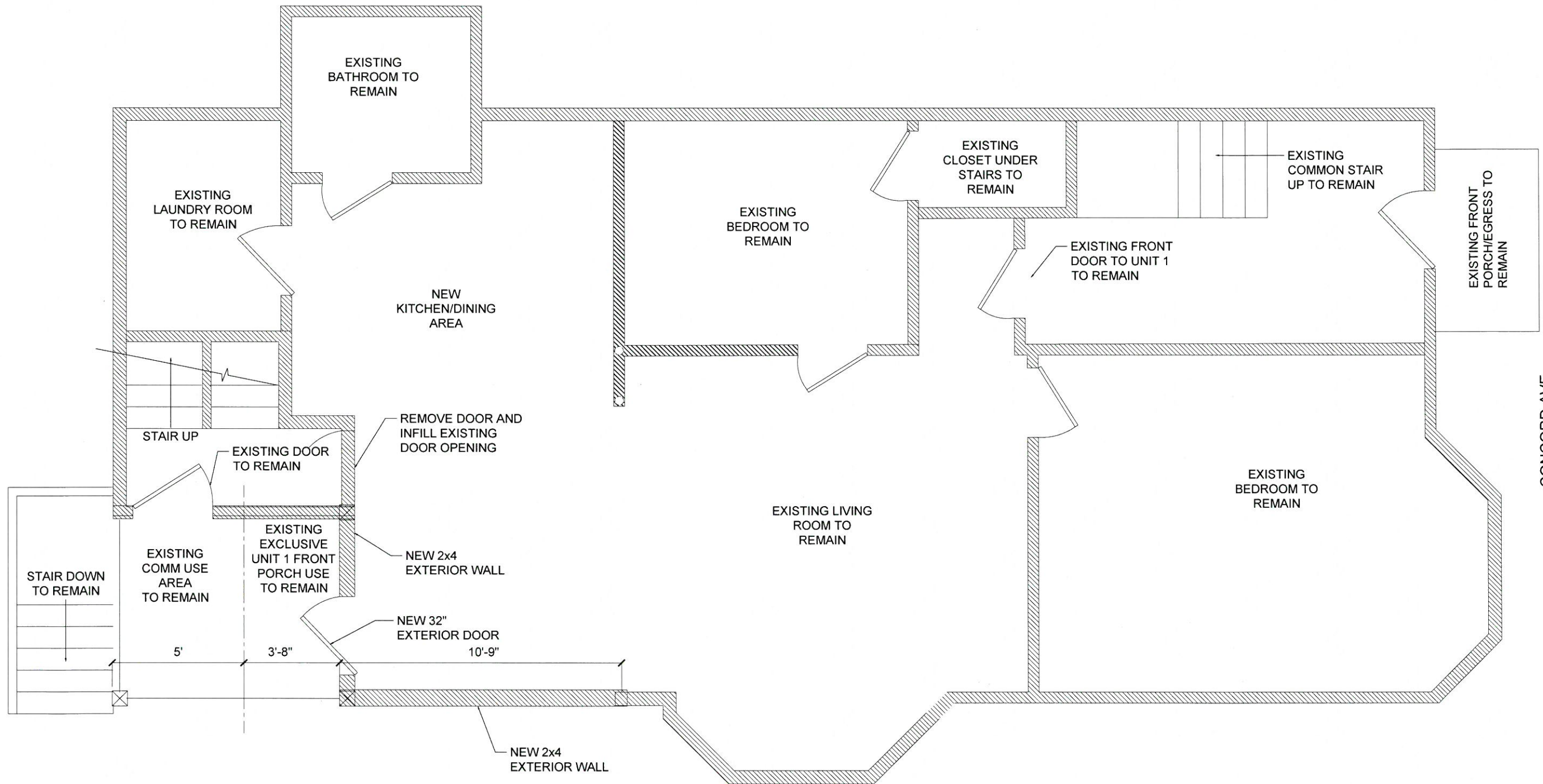
DESIGN BY:
BERDI Consulting
25 Wayland Hills Rd
Wayland, MA 01778
Tel: (508) 308-9012

OWNER:
**69 Concord Ave
Somerville, MA**

EXISTING
1st FLOOR
ARCH
PLAN

SCALE: 1/4" = 1'-0"

E-101



MARION ST

CONCORD AVE



DESIGN BY:
BERDI Consulting

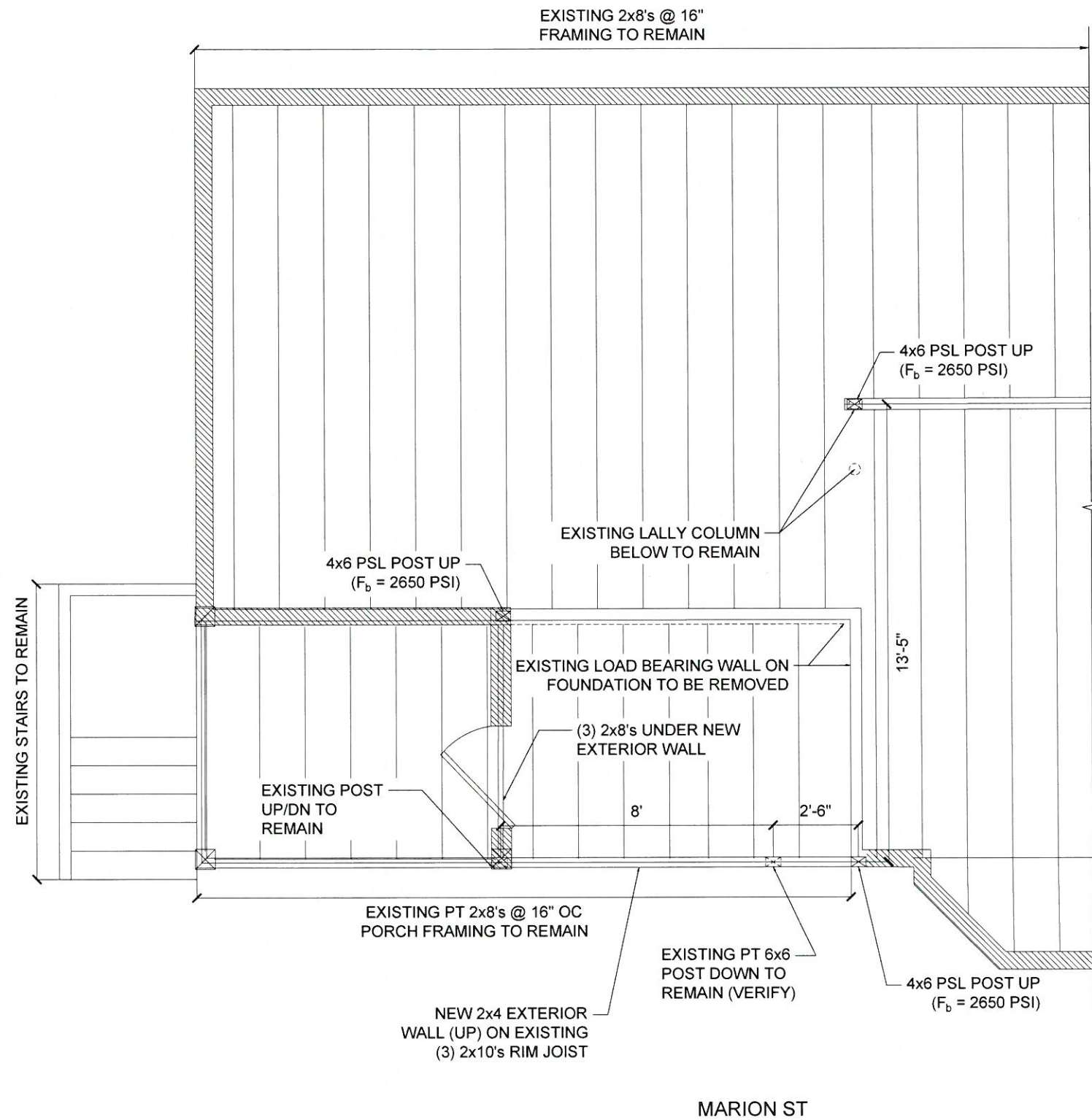
25 Wayland Hills Rd
Wayland, MA 01778
Tel: (508) 308-9012

OWNER:
**69 Concord Ave
Somerville, MA**

PROPOSED
1st FLOOR
ARCH
PLAN

SCALE: 1/4" = 1'-0"

A-101



DESIGN BY:
BERDI Consulting

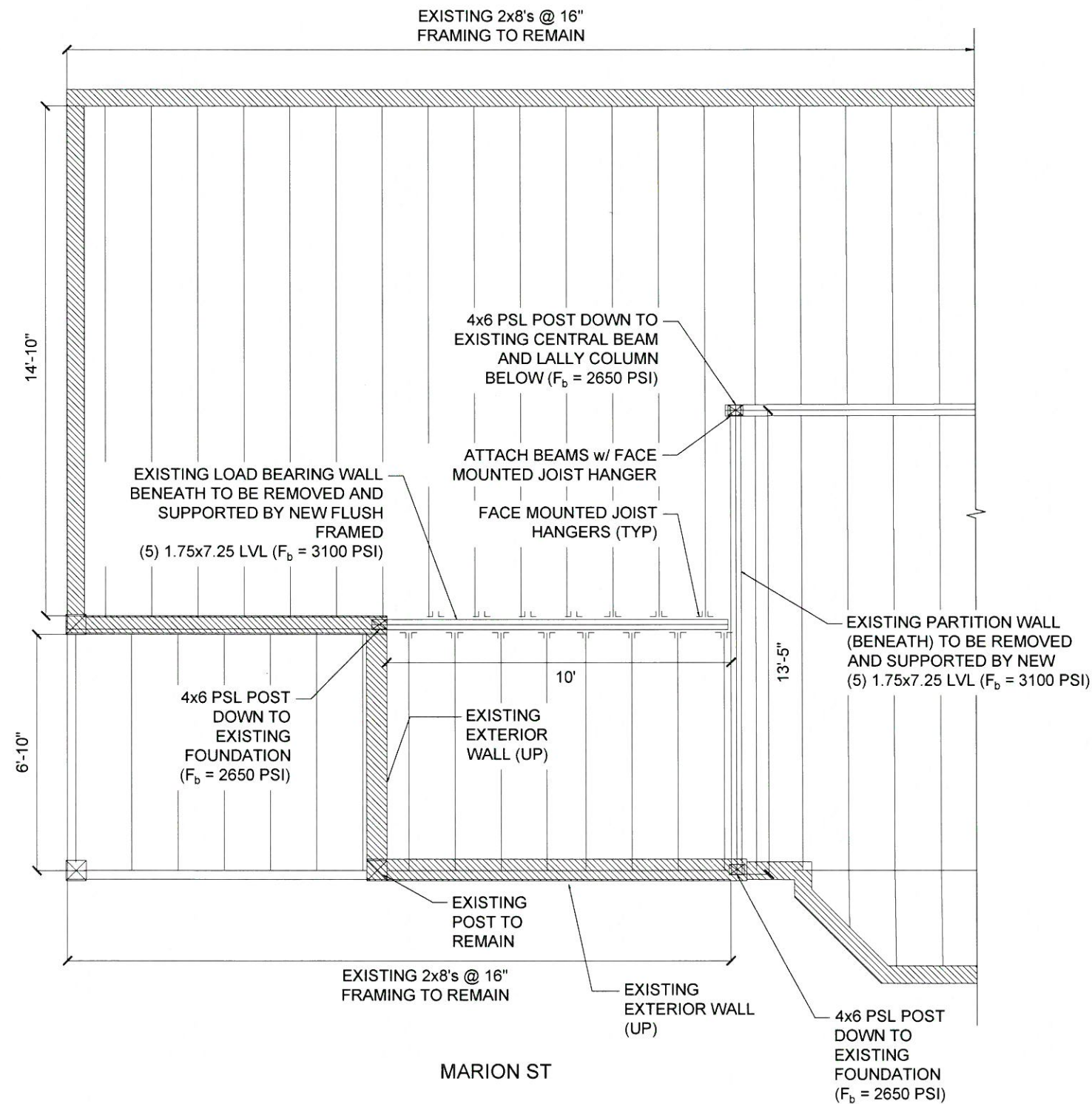
25 Wayland Hills Rd
Wayland, MA 01778
Tel: (508) 308-9012

OWNER:
**69 Concord Ave
Somerville, MA**

PROPOSED
1st FLOOR
FRAMING PLAN

SCALE: 1/4" = 1'-0"

S-101



DESIGN BY:
BERDI Consulting

25 Wayland Hills Rd
Wayland, MA 01778
Tel: (508) 308-9012

OWNER:

69 Concord Ave
Somerville, MA

PROPOSED 1st FLOOR
CEILING
FRAMING PLAN

SCALE: 1/4" = 1'-0"

S-102



NEW WALL AND DOOR
BETWEEN CENTRAL
PORCH POST AND
EXISTING UNIT 1
EXTERIOR WALL

EXISTING DECK
AND DECK
RAILING TO
REMAIN

PROPOSED SIDING
AND WINDOWS IN
EXTERIOR WALL TO
MATCH EXISTING

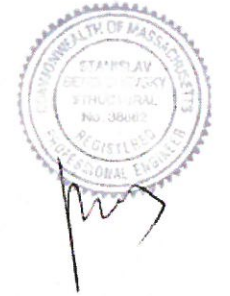
EXISTING POSTS
AND FOOTPRINT
OF DECK TO
REMAIN

AREA TO
THE LEFT OF
CENTRAL
POST TO
REMAIN

AREA TO
THE RIGHT
OF CENTRAL
POST TO BE
ENCLOSED

SIDEWALK
PARALLEL TO
MARION ST

1 EXISTING ELEVATION
1/4" = 1'-0"



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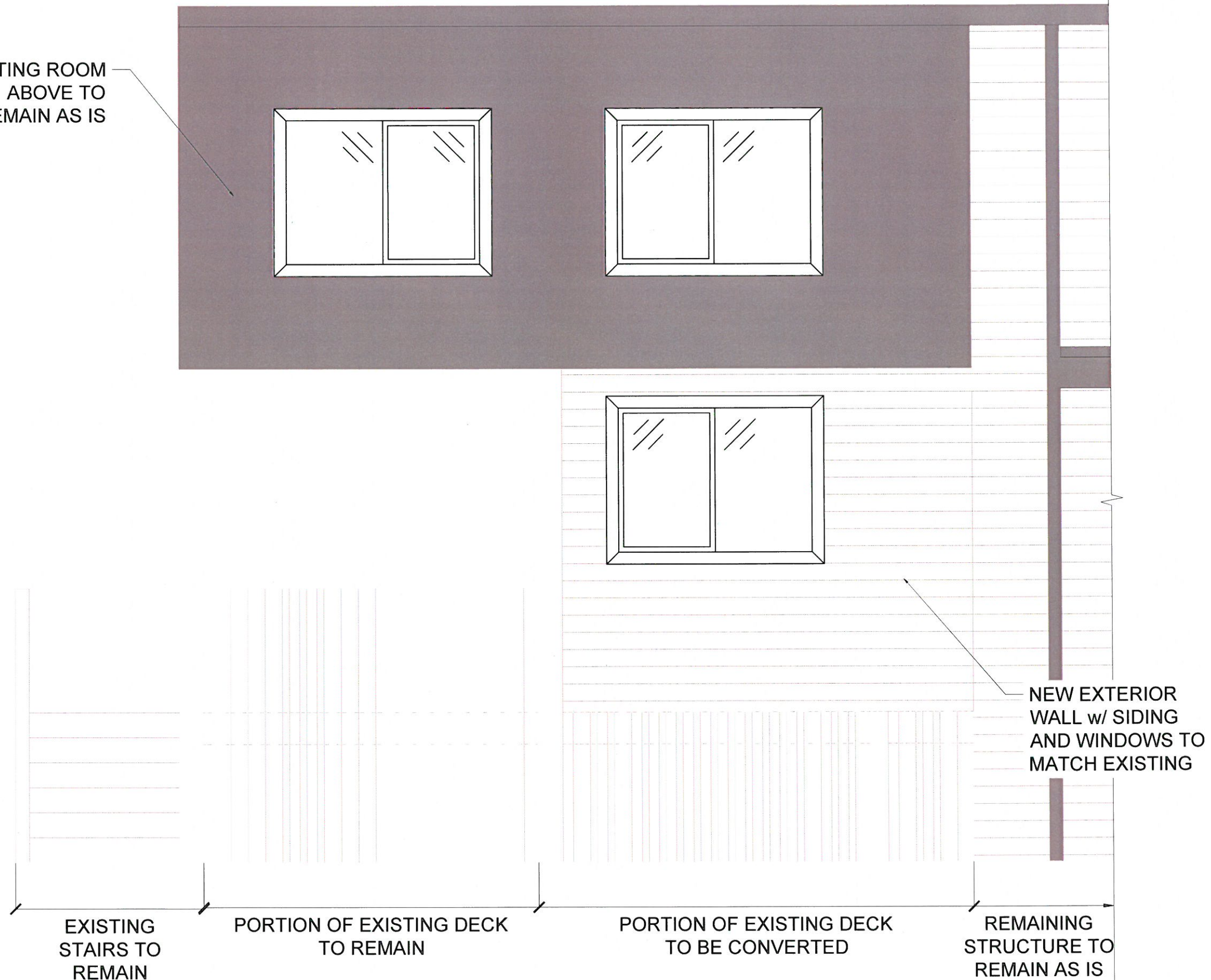
OWNER:
69 Concord Ave
Somerville, MA

ELEVATION

SCALE: 1/4" = 1'-0"

A-200

EXISTING ROOM
ABOVE TO
REMAIN AS IS



DESIGN BY:
BERDI Consulting

25 Wayland Hills Rd
Wayland, MA 01778
Tel: (508) 308-9012

OWNER:
**69 Concord Ave
Somerville, MA**

PROPOSED
SIDE ELEVATION

SCALE: 1/4" = 1'-0"

S-201